

DATE

December 11, 2024

SUBJECT

Certificate of Appropriateness Request: H-25-24
Applicant: Richard Barcelo
Location of subject property: 212 Union St N
PIN: PIN 5621-70-1186
Staff Report prepared by: Kim Wallis, AICP, Senior Planner

BACKGROUND

- The subject property, 212 Union St N, is designated as a "Contributing" structure in the North Union Street Historic District, and built circa 1906 (Exhibit A).
- "Two-story, frame house with triple-A roofline, somewhat marred by unfortunate replacement windows dating from the 1950s or 1960s. House's three gables have decorative shingles and ventilators. Wrap-around porch with Tuscan columns may be early twentieth century replacement of original." (Exhibit A).

DISCUSSION

On November 11, 2024, Richard Barcelo applied for a Certificate of Appropriateness under Concord Development Ordinance (CDO) §9.8 to install fencing in the rear yard at 212 Union St. N (Exhibit A).

Rear Fence

The applicant is proposing to remove the existing hog-wire and bamboo fence along the rear property line facing an existing commercial property that is located outside of the historic districts.

The applicant is proposing eighty (64) feet of 7' tall wooden privacy fence located at the rear property line set back approximately 6"-12" from the neighboring commercial property to the rear. It will be built on-site, made of pressure treated pine with 4"x4" wooden posts, have a dog-eared picket design and will be left unpainted. The fence will abut the proposed identical fence on the adjacent property at 220 Union St N. The fence will be landscaped with bushes on the interior side. Bushes currently exist on the neighboring commercial property, adjacent to the proposed fence. The fence will not be seen from Union St.

The applicant states that the proposed fence will block the applicant's view of the parking lot and commercial dumpster, prevent trespassers who cross from Church to Union St, and reduce light and noise pollution from the commercial property.

ATTACHMENTS

Exhibit A: National Register of Historic Places Inventory
Exhibit B: Certificate of Appropriateness Application
Exhibit C: Subject Property Map
Exhibit D: Applicant submitted Description, Elevations, and Photographs.

HISTORIC HANDBOOK DESIGN RECOMMENDATIONS

Approval Requirement Needs Table:

- **Fencing:** All types of new fencing in public view require Commission Hearing and Approval. Planning Department may extend approval for rear fencing.

Chapter 5.2: Fencing & Walls

- Where fences are desired in front yards and side yards at corner lots, the design shall be primarily decorative in nature. Front yard fences shall not exceed four feet in height.
- All wooden fences shall be “stick-built” on site. Painting is recommended, but not required, for rear yard fences unless they are visible from the street. If a fence is designed as a single-sided fence, one with detailing on only one side, the finished detail must be on the outside face of the fence (facing the neighboring property or the street). Additionally, wood picket fences shall have pickets spaced at a minimum of 1 inch or half the width of the picket. (See notes regarding “Privacy Fences” for allowable exceptions to this rule). Walls or fences in front yards and side yards at corner lots shall not be more than 65% “solid. Cast-iron, powder coated aluminum or wrought iron fences shall be designed to follow historic precedents found in the districts.
- Rear yard fences are defined as fences, which do not extend forward on the applicant’s property beyond the side centerline of the house in plain view. Approval of the location may also will be handled on a case-by-case basis to determine the best natural break in the rear and front yards for placement of fences. Rear yard fences may be higher than four feet. The portions of rear yard fences that face the street shall be landscaped with shrubs and trees of a planting size that will fully hide the fence from the street within two years. Size, type, and growth habits of plant materials to screen rear yard fences that face the street shall be submitted at time of application. If a front yard fence adjoins a rear yard fence, or an existing neighboring property fence, attention shall be given to the transition between the two fences. Also, attention shall be given to the design of fences placed along a sloping grade. All proposed fences and walls shall not negatively affect existing trees and mature landscaping.
- Privacy fences are defined as: 1) fences with no spacing between pickets or 2) fences of the shadowbox design. Privacy fences may be allowed at the discretion of the Commission in the following circumstances:
 1. Privacy fences are most appropriate located in rear yards.
 2. Privacy fences may be allowed where the applicant’s rear yard is directly adjacent to property that is either not in a historic district, or is within a historic district but is noncontributing or intrusive in that district. The applicant must show to the satisfaction of the Commission:
 - (a) that the adjacent property is unsightly in comparison to other properties surrounding the applicant’s property, or
 - (b) that the adjacent property or nearby property raises reasonable security concerns for the applicant, or
 - (c) that the adjacent property could reasonably be determined to negatively impact the property value of the applicant’s property.
 3. Privacy fences shall be allowed only on the applicant’s property line directly adjoining the aforesaid adjacent property unless the Commission feels that such a partial privacy fence would not be visually appropriate or would not accomplish the purpose(s) of the privacy fence set forth above.

4. Privacy fences encompassing an area of no more than 250 square feet may be allowed at the discretion of the Commission when adjacent to the applicant's house, garage, or other outbuilding in order to screen from view trash cans, mechanical equipment, cars or other unsightly items, provided such fence does not unreasonably impact any neighbor by blocking windows or the like. Privacy fences allowed by the Commission shall be landscaped where practical with appropriate shrubbery to soften the appearance of the fence.

Design Standards

- Materials such as natural stone, brick, wood, and powder coated aluminum and iron are appropriate for use in the historic districts.
- Fence and wall materials and style shall coordinate with building and neighboring buildings, as well as other walls and fences in the area.

RECOMMENDATION

1. The Historic Preservation Commission should consider the circumstances of this application for a Certificate of Appropriateness relative to the North and South Union Street Historic Districts Handbook and act accordingly.
2. If approved, applicant(s) should be informed of the following:
 - City staff and Commission will make periodic on-site visits to ensure the project is completed as approved.
 - Completed project will be photographed to update the historic properties survey.

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
Inventory—Nomination Form**

For NPS use only
received _____
date entered _____

Continuation sheet	Item number	Page
<u>Inventory List - North Union Street Historic District, Concord</u>	#7	22

of straight-cut-out ventilators, and molded cornices with sawn trim. Fine porch with turned posts, decorative brackets flanking entrance, and cut-out frieze.

9. Levi Moore House
224 North Union Street
ca. 1906 (SB)
C

Two-story, frame, Queen Anne style house with side gable roof and broad, slanted gable-front south (right) facade bay. Handsome wrap-around porch with turned posts, decorative brackets, and spindle-frieze. One-story balcony at sash windows except for unfortunate picture window on north (left) first floor facade bay. Gables sheathed in square-cut shingles and have cut-out ventilators.

10. Martin Boger House
220 North Union Street
ca. 1902 (SM)
C

One-and-a-half-story, double-pile house with high hip roof and projecting, gable-front north (left) facade bay. Wrap-around porch originally sheltered two south (right) facade bays and one bay of south side of house; south side of porch enclosed for sun room in 1920s. Tuscan porch posts and dentil frieze on remaining portion of porch may be early twentieth century replacements of original porch. Facade gable and projecting gable on south side of house have three bands of diamond-cut shingles alternating with three rows of shingles with square edges. Notable concrete balustrade, steps, and retaining wall at front property line. Erected by Martin Boger (see #29) for one of his daughters.

11. House
2121 North Union Street
ca. 1906 (SB)
C

Two-story, frame house with triple-A roofline, somewhat marred by unfortunate replacement windows dating from the 1950s or 1960s. House's three gables have decorative shingles and ventilators. Wrap-around porch with Tuscan columns may be early twentieth century replacement of original.

Application for Certificate of Appropriateness

An application will not be placed on the agenda until all required information and attachments, as listed in this document, are submitted and complete

TO BE COMPLETED BY APPLICANT			STAFF USE ONLY				
Application Deadline: Approximately one month (~ 30 days) prior to regularly scheduled HPC meeting. Please check with City Staff to confirm submission deadlines and meeting dates. COA Fee: \$40.00 After-the-Fact Fee: \$120.00			Yes	N/A	Yes	No	N/A
1	Written Description Describe clearly and in detail the project scope of work.						
2	Materials Description Type/Width of siding, window trim, height/style of doors, etc.						
3	Photos of Existing Conditions Clear digital photos of: <ul style="list-style-type: none"> • All sides of the building(s) • Front yard • Rear yard • Trees to be removed • Significant site features 						
4	Context Photographs <ul style="list-style-type: none"> • Photos of structures on same block and across the street, include property address for each photo. • Photos of other properties in District with similar design features, as applicable. 						
5	Site Plans - Existing + Proposed. (Property survey, or scaled drawing accepted) <ul style="list-style-type: none"> • Lot Dimensions • Setback dimensions [side,rear,front (porch + thermal wall)] • Setback dimensions of neighboring properties • Drives, walks + alleys • Tree protection and/or tree removal + replanting • HVAC location • Fences/walls • Accessory buildings (garages, sheds, gazebos, etc.) • Easements/public rights of way • % of Rear Yard Coverage 						

6	<p>Elevation Drawings - Existing + Proposed All drawings should include dimensions, materials, foundation height, topography, etc. For additions, the existing structure and proposed addition must be clearly shown. The plans must clearly identify the building elements to be demolished.</p> <ul style="list-style-type: none"> • Front • Rear • Left • Right 					
7	<p>Architectural Details</p> <ul style="list-style-type: none"> • Porch section (showing the column/beam alignment) • Railing detail Roof detail (soffit, fascia) • Window detail (material, design, dimensions, trim) • Wall section <p><i>May include additional information as requested by the Commission as a condition for future review.</i></p>					
8	<p>Floor plans As needed (usually optional).</p>					

(1) I hereby acknowledge and say that the information contained herein and herewith is true and that this application shall not be scheduled for official consideration until all of the required contents are submitted in proper form to the City of Concord Planning & Neighborhood Development. (2) I understand that City staff and/or members of the Historic Preservation Commission may make routine visits to the site to ensure that work being done is the same as the work that was approved. (3) I understand that photographs of the completed project will be used to update the City's historic districts inventory database.

SUBJECT PROPERTY

Address: _____

Parcel ID (PIN): _____

Area (acres or square feet): _____

Current Zoning: _____

OWNER INFORMATION

Name: _____

Address: _____

City: _____ State: _____ Zip Code: _____

Email Address: _____

Phone: _____

APPLICANT INFORMATION

Name: _____

Address: _____ City: _____

State: _____ Zip Code: _____

Email Address: _____ Phone: _____

Signature of Owner: _____ Date: _____

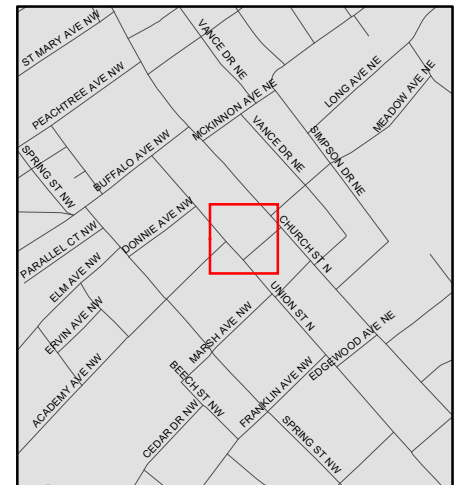
Signature of Applicant: _____ Date: _____



H-25-24

212 Union St N

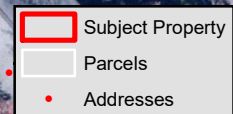
PIN: 5621-70-1186



Source: City of Concord
Planning Department

Disclaimer

These maps and products are designed for general reference only and data contained herein is subject to change. The City Of Concord, it's employees or agents make no warranty of merchantability or fitness for any purpose, expressed or implied, and assume no legal responsibility for the information contained therein. Data used is from multiple sources with various scales and accuracy. Additional research such as field surveys may be necessary to determine actual conditions.



Item 1 – Fence

Description: Replace existing hog-wire and bamboo fence along back property line facing commercial property outside of historic district. Extend fence along 212 Union St N. Reid and Barcelo jointly applying for certificate. Fence will block view of parking lot and commercial dumpster, prevent trespassers cross from Church to Union St, and reduce light and noise pollution from commercial property.

Materials: 7 foot high wooden privacy fence, built on site, extending 135 feet along full length of the two lots. Pressure treated pine. 4x4 wooden posts.

Photos of Existing Conditions:



Fence facing east toward Church St



Fence facing Southeast



Fence facing North

EXHIBIT D

Context Photographs:



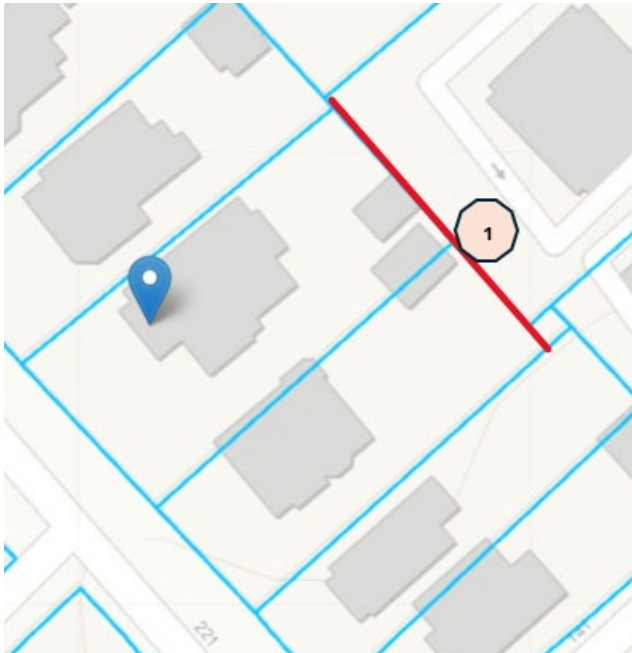
238 Union St N



224 Union St N (Facing 220 Union N)

Site Plans:

Fence will run along rear property line of 220 & 212 Union St N. 135 feet total length. Approximately 6 to 12 inch setback from neighboring commercial property. See red outline



Elevation Drawings: Site is level with elevatiopn drop of lerss than 2 feet running North to South. See Photos of Existing Conditions above.

Architectural Details:Standard privacy fence with dog-eared pickets. Unpaid natural wood. Landscaping with bushes on interior side. Exterior side has existing bushes on neighboring commercial property.



Example fence at nearby property build by same contractor